

SITE DATA TABULATION

OWNER: NHC BOARD OF EDUCATION
 PROJECT ADDRESS: 5001 ORIOLE DRIVE WILMINGTON, NC 28403
 TAX PARCEL IDENTIFICATION #: R05017-003-002-001 (15.45 AC)
 RECORDED DEED BOOK: BK 783 PG 428
 CURRENT ZONING: R-15
 CAMA LAND USE CLASSIFICATION: URBAN
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'
 EXISTING LAND USE: ELEMENTARY SCHOOL
 PROPOSED LAND USE: ELEMENTARY SCHOOL

LANDSCAPE CALCULATIONS

REQUIRED FOUNDATION PLANTINGS (BLDG LENGTH X BLDG HGT) X 12%
 FRONT (SOUTH): (353 X 32) X 0.12 = 1,356 SF
 PROVIDED: 1,574 SF
 REAR (NORTH): (110 X 32) X 0.12 = 422 SF
 PROVIDED: 467 SF
 LEFT SIDE (WEST): (112 X 32) X 0.12 = 430 SF
 PROVIDED: 447 SF

STREETYARD LANDSCAPE CALCULATIONS

REQUIRED STREETYARD BUFFER (LENGTH OF FRONTAGE - DRIVEWAY) X 12%
 REQUIRED: (1,314 - 80) X 12 = 14,808 SF
 14,808 SF/600 SF = 24.68 OR 25
 25 X 3 UNDERSTORY TREES = 75 UNDERSTORY TREES
 25 X 6 SHRUBS = 150 SHRUBS
 PROVIDED: 16,038 SF
 27 UNDERSTORY TREES
 129 SHRUBS

PARKING LANDSCAPE CALCULATIONS:

SHADING REQUIREMENTS: 2.62 AC x 20 = 52 AC REQUIRED
 0.61 AC OR 24,350 SF
 33 LARGE CANOPY @ 707 SF = 23,331 SF
 OR 0.54 AC
 10 SMALL CANOPY @ 314 SF = 3,140 SF
 OR 0.07 AC
PARKING REQUIREMENTS: 1 CANOPY TREE / ISLAND, GROUND COVER OR SHRUBS

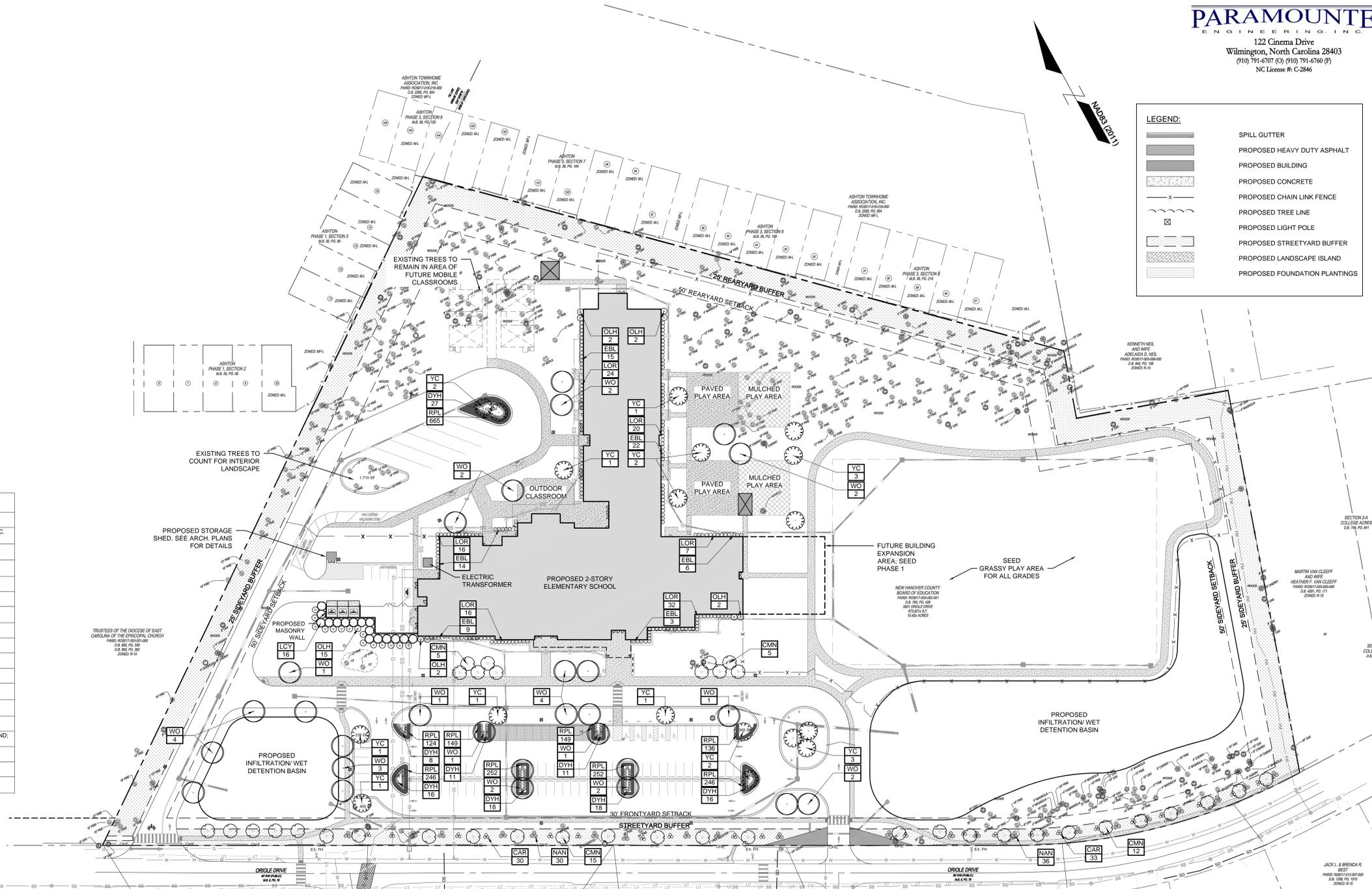
PARKING WITHIN 50' OF RIGHT OF WAY REQUIRES SHRUB BUFFER

BUFFER LANDSCAPE CALCULATIONS:

- LOCATED BETWEEN ANY RESIDENTIAL AND NON RESIDENTIAL USE
- 100% OPAQUE WITHIN 3 YRS OF PLANTING
- EXISTING VEGETATION TO REMAIN UNDISTURBED WITHIN BUFFER AREAS. BUFFER AREAS TO BE AUGMENTED WHERE DEEMED UNSUITABLE BY CITY OF WILMINGTON PLANNING STAFF.
- BUFFER WIDTH = 50% OF BUILDING SETBACK, NOT LESS THAN 20'.
 REAR (NORTH): 25' WIDE
 LEFT (WEST): 25' WIDE
 RIGHT (EAST): 25' WIDE

PLANT SCHEDULE

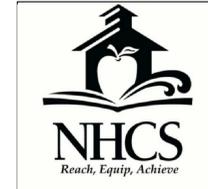
TREES	QTY	COMMON NAME	SIZE	REMARKS	
LCY	16	LEYLANDI CYPRESS x Cupressocyparis leylandii	10' H	FULL TO GROUND; 8' O.C. MIN, 12' O.C. MAX.	
WO	28	WILLOW OAK Quercus phellos	3" CAL.		
YC	18	YOSHINO CHERRY Prunus x yedoensis	3" CAL.		
ORNAMENTAL TREES	QTY	COMMON NAME	SIZE	REMARKS	
CMN	37	CRAPE MYRTLE Lagerstroemia x Natchez	8' HGT.	8' HGT.; MULTI-STEM	
SHRUBS	QTY	COMMON NAME	CONT	REMARKS	
CAR	63	CARISSA HOLLY Ilex cornuta 'Carissa'	3 GAL	3' O.C.	
DYH	125	BORDEAUX HOLLY Ilex verticillata 'Bordeaux'	3 GAL	3' O.C.	
EBL	69	EAST BAY PRIVET Ligustrum japonicum 'East Bay'	7 GAL	4' O.C.	
LOR	115	RUBY LOKOPE TALUM Lonicera c. 'Ruby'	3 GAL	4' O.C.	
NAN	66	FIREPOWER NANDINA Nandina domestica 'Fire Power'	3 GAL	SPACED AS SHOWN ON PLAN	
OLH	23	OAK LEAF HOLLY Ilex x 'Conif'	15 GAL	6' HGT.; FULL TO GROUND; ED. SPACING	
GROUND COVERS	QTY	COMMON NAME	CONT	SPACING	REMARKS
RPL	2,219	ROYAL PURPLE LIRIOPE Liriope muscari 'Royal Purple'	4" POT	12" o.c.	



PARAMOUNTE ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (F) (910) 791-6760 (R)
 NC License #: C-2846

LEGEND:

- SPILL GUTTER
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED CHAIN LINK FENCE
- PROPOSED TREE LINE
- PROPOSED LIGHT POLE
- PROPOSED STREETYARD BUFFER
- PROPOSED LANDSCAPE ISLAND
- PROPOSED FOUNDATION PLANTINGS



COLLEGE PARK ELEMENTARY SCHOOL



LS3P ASSOCIATES LTD.
 2528 INDEPENDENCE BLVD., SUITE 200
 WILMINGTON, NORTH CAROLINA 28412
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 WWW.LS3P.COM

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REVISIONS:

No.	Description	Date

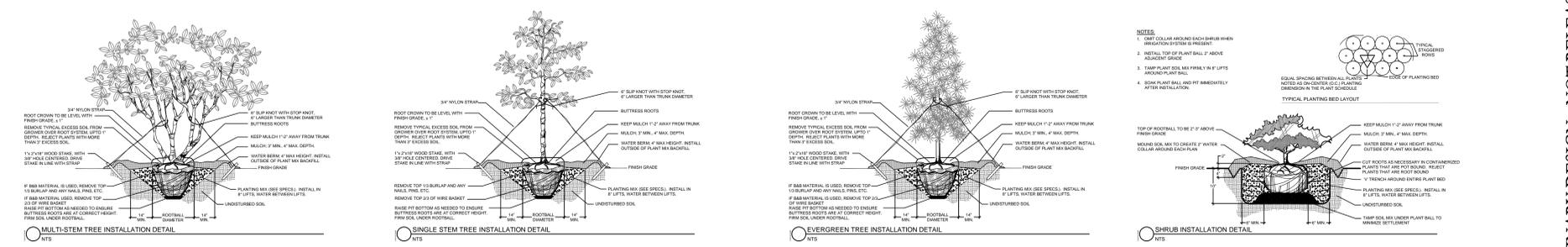
PROJECT: 15185.PE
 DATE: OCTOBER 19, 2016
 DRAWN BY: AHE
 CHECKED BY: RPB

LANDSCAPE PLAN

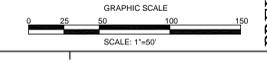
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SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
 - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 - NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
 - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
 - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
 - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SODDED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND. IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
 - IRRIGATION IS REQUIRED AT THE BUILDING PERIMETER, FRONT ENTRY, AND THE PLAYGROUND FIELDS. PLANS AND SPECIFICATIONS FOR THE IRRIGATION DESIGN SHALL BE SUBMITTED TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF THE MATERIALS.
 - THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION





COLLEGE PARK ELEMENTARY SCHOOL

COLLEGE PARK ELEMENTARY SCHOOL

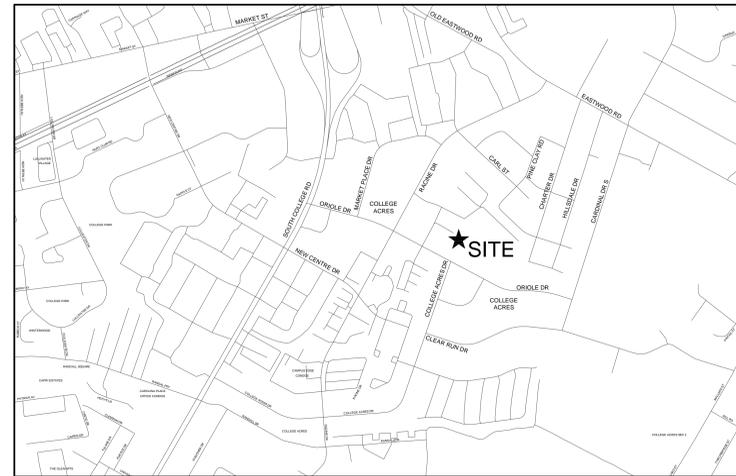
5001 ORIOLE DRIVE

WILMINGTON, NORTH CAROLINA 28403

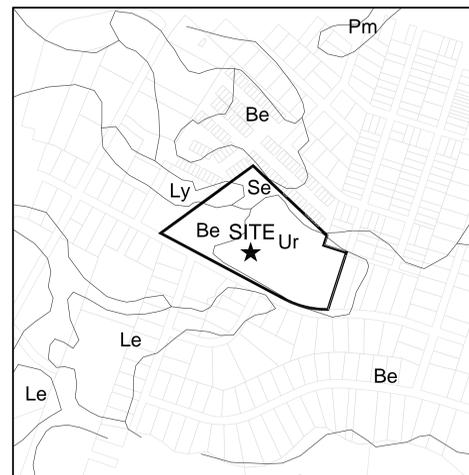
MAJOR SITE PLAN SUBMITTAL

OCTOBER 2016

PROJECT ADDRESS:
5001 ORIOLE DRIVE
WILMINGTON, NC 28403



VICINITY MAP
SCALE: 1"=1000'



SOILS MAP
SCALE: 1"=500'

OWNER:
NEW HANOVER COUNTY SCHOOLS
6410 CAROLINA BEACH ROAD
WILMINGTON, NORTH CAROLINA 28412
ATTN: LEANNE LAWRENCE (910) 254-4281

ENGINEER (CIVIL):
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROBERT P. BALLAND, P.E. (910) 791-6707

ARCHITECT:
LS3P & ASSOCIATES LTD.
2528 INDEPENDENCE BLVD., SUITE 200
WILMINGTON, NORTH CAROLINA 28412
ATTN: CHARLES BONEY, JR., FAIA (910) 397-3627

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-2.0	DEMO PLAN
C-2.1	SITE LAYOUT
C-2.2	TREE REMOVAL PLAN
C-2.3	SITE INVENTORY MAP
C-3.0	PH-I EROSION CONTROL PLAN
C-3.1	PH-II EROSION CONTROL PLAN
C-4.0	UTILITY PLAN
C-5.0	LANDSCAPE PLAN
C-6.0 - C-6.7	DETAILS

PREPARED BY:
PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 15185.PE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE LATEST NEW HANOVER COUNTY ORDINANCES AND STORM WATER DESIGN MANUAL.
SIGNATURE: _____
PRINTED NAME AND TITLE: ROBERT P. BALLAND, P.E.
DATE: _____
REGISTRATION NUMBER: 031591

WE HEREBY CERTIFY THAT WE ARE THE CURRENT DEVELOPER OF THE PROPERTY AND THAT UPON RECEIPT OF "AUTHORIZATION TO CONSTRUCT" ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE PERFORMED IN ACCORDANCE WITH THIS PLAN AND THE APPLICABLE ORDINANCES AND RULES OF NEW HANOVER COUNTY, THE STATE OF NORTH CAROLINA, AND THE FEDERAL GOVERNMENT AND ITS AGENCIES WHICH ARE HEREBY MADE PART OF THIS PLAN. AS THE DEVELOPER, WE ACCEPT FULL RESPONSIBILITY FOR THE CONSTRUCTION AND OPERATION AND MAINTENANCE OF THE PROPOSED FACILITIES. WE WILL NOT ATTEMPT TO TRANSFER THIS RESPONSIBILITY WITHOUT THE WRITTEN AUTHORIZATION OF NEW HANOVER COUNTY.
SIGNATURE: _____
PRINTED NAME AND TITLE: _____
DATE: _____

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.
CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

CONTACT THESE UTILITIES

NEW HANOVER COUNTY, DEVELOPMENT SERVICES ATTN: BEN ANDREA PH: 910-798-7571 PIEDMONT NATURAL GAS ATTN: CARL PAQUET PH: 910-550-2242 EMERGENCY DIAL 911 POLICE - FIRE - RESCUE	CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER) ATTN: KENT HARRELL PH: 910-332-6674 DUKE ENERGY PROGRESS ATTN: KEVIN LEATHERWOOD PH: 910-602-4304 BELL SOUTH ATTN: STEVE DAYVAULT PH: 910-392-8712 TIME WARNER CABLE PH: 910-763-4638
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No.	Description	Date

PROJECT: 15185.PE
DATE: OCTOBER 19, 2016
DRAWN BY: RPB
CHECKED BY: RPB

COVER SHEET
C-0.0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLICK UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUTS.
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- 1. EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY COMPLETED BY V.K. DICKSON AND DATED 9/21/15. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR ENGINEER IMMEDIATELY.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY EXISTING UTILITIES, ELECTRIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTES:

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
11. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
12. EXISTING FIRE HYDRANTS ARE TO REMAIN IN SERVICE.
13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

TRAFFIC NOTES:

- 1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A NCDOT STREET REQUIRES AN ENCROACHMENT PERMIT. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
7. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET, YARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES.
8. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.
1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES, ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 15 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE SYSTEM, THE CONTRACTOR SHALL INSTALL OUTLET PROTECTION AS SHOWN ON THE PLANS AND DETAILS.
7. THE CONTRACTOR SHALL CONVERT THE SEDIMENT BASIN TO THE WET DETENTION POND ONCE THE ENTIRE DRAINAGE BASIN IS FULLY STABILIZED. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT FROM THE POND AND ESTABLISH THE FINAL POND BOTTOM ELEVATION. ONCE ALL CONSTRUCTION IS FINISHED WITHIN THE POND DRAINAGE AREA THE CONTRACTOR SHALL REMOVE THE SKIMMER TO COMPLETE THE WET POND CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
9. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
10. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
11. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING WATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):

- 1. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
2. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NODENR'S FINAL APPROVAL IS REQUIRED.
3. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
4. WHEN CROSSING CREEK OR DRAINAGE WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL, AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF. PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - INSPECT WIRE AND ROCK INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (3/4 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
6. SEDIMENT BASIN - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
7. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
8. OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (3/4 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISORDERED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
9. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED AREAS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.

PERMANENT SEEDING SCHEDULE - MIXTURE 5C/P

Table with 2 columns: Species, Rate (lb/acre). Includes Centipede Grass (10-20), Seeding Dates (March - June), Soil Amendments (Apply Lime and Fertilizer), and Mulch (Do not mulch).

Maintenance: FERTILIZE VERY SPARINGLY--20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING-LATE WINTER/EARLY SPRING

Table with 2 columns: Species, Rate (lb/acre). Includes Rye (Grain) (120), Annual Lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) (50), and OMIT Annual Lespedeza when duration of temporary cover is not to extend beyond June.

SUMMER

Table with 2 columns: Species, Rate (lb/acre). Includes German Millet (40).

Table with 2 columns: Species, Rate (lb/acre). Includes Rye (Grain) (120). Includes Seeding dates (Coastal Plain - Dec 1-Apr 15, Late Winter and Early Spring April 15-Aug 15, Summer Aug 15-Dec 30, Fall) and Soil amendments (Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer).

Mulch: APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

SITE NOTES:

- 1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
3. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC. SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
4. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
5. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
6. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
7. ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.
8. ALL STREET SURFACES, DRIVEWAYS, CURBS, GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE RESPECTIVE UTILITY.
9. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCREALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPUA, RESPECTIVELY.
11. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
14. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO NCDOT. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
15. ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.
16. LANDSCAPE PLANTINGS AT ENTRANCE EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
17. SEEDING TO BE INSTALLED TO LOCAL REQUIREMENTS & STANDARD PRACTICES.
18. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

NC ACCESSIBILITY NOTES:

- GENERAL NOTES:
1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY BEGIN THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS, AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY REVISING THE DRAWING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICTS.
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SCOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- 1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE SHALL HAVE A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES 1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED.
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, THE CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM DURING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT FORM A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

- 1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1), WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.
CURB RAMP NOTES:
1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFLECTIVE DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES, THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/2 INCH WIDE BY 1/4 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

PARKING SPACE NOTES:

- 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A 36 INCH ACCESSIBLE AISLE. THE AISLE SHOULD BE 48 INCHES WIDE FOR ACCESSIBLE SPACES 81 FEET AND ACCESS AISLE IS FIVE FEET), WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES, WHERE POSSIBLE, IT IS PREFERRED THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY ARE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.7 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE ACCESS AISLE STRIPING AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

- 1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
6. VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

- 1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1, AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL UTILITY NOTES:

- 1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW HANOVER COUNTY AND NCDOT REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
3. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

STORM WATER NOTES:

- 1. TOTAL SITE AREA = 782,962 SF (17.87 AC)
2. DISTURBED AREA = 777,748 SF (17.85 AC)
3. IMPERVIOUS AREA DRAINING TO STORMWATER SYSTEM = 235,224 SF (6.40 AC)

WETLAND NOTES:

- 1) WETLANDS SHOWN ON-SITE WERE DELINEATED BY SOUTHERN ENVIRONMENTAL GROUP, INC. AND APPROVED BY THE ACOE.

ROOF DRAIN NOTE:

- 1) PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

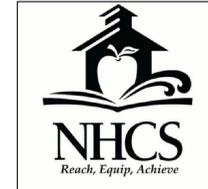
EXISTING UTILITY NOTES:

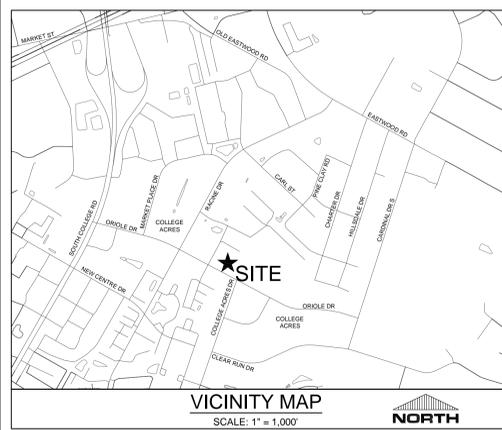
- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

LEGEND

Legend symbols and descriptions: WET, EXISTING PROPERTY LINE, EXISTING CONTOURS, IRON PIPE FOUND, IRON ROD FOUND, CONCRETE MONUMENT, TELEPHONE PEDESTAL, UNDERGROUND TELEPHONE, TRANSFORMER PEDESTAL (PAD), PROPOSED DROP INLET, PROPOSED CURB INLET, PROPOSED STORM SEWER, PROPOSED STORM DRAIN MANHOLE, PROPOSED STORM DRAIN MANHOLE, PROPOSED SPOT ELEVATIONS, PROPOSED CONTOUR, PROPOSED DRAINAGE AREAS, PROPOSED SILT FENCE, PROPOSED LIMITS OF DISTURBANCE, PROPOSED TREE PROTECTION FENCING, PROPOSED INLET PROTECTION, PROPOSED TRAFFIC ARROW, PROPOSED SIGN, PROPOSED SANITARY SEWER SERVICE, PROPOSED SANITARY SEWER CLEANOUT, PROPOSED BUILDING, PROPOSED CONCRETE CURB & GUTTER.

PARAMOUNT ENGINEERING, INC. 122 Cinema Drive, Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846





SITE DATA TABULATION

OWNER: NHC BOARD OF EDUCATION
PROJECT ADDRESS: 5001 ORIOLE DRIVE, WILMINGTON, NC 28403
TAX PARCEL IDENTIFICATION #: R05017-003-002-001 (15.45 AC)
RECORDED DEED BOOK: BK 763 PG 428
CURRENT ZONING: R-15
CAMA LAND USE CLASSIFICATION: URBAN
MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'
EXISTING LAND USE: ELEMENTARY SCHOOL
PROPOSED LAND USE: ELEMENTARY SCHOOL

SETBACK STANDARDS

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK	206 FT. (SOUTH)	30 FT.
MINIMUM SIDE SETBACK	547 FT. (EAST)	50 FT.
MINIMUM SIDE SETBACK	184 FT. (WEST)	50 FT.
MINIMUM REAR SETBACK	64 FT. (NORTH)	50 FT.

SITE INFORMATION

MINIMUM LOT SIZE	673,021 SF (15.45 AC)	15,000 SF (0.34 AC)
DRAINAGE AREA	673,021 SF (15.45 AC)	
PROPOSED IMPERVIOUS AREA		
TOTAL BUILDING (PROPOSED FOOTPRINT)	57,772 SF	
FUTURE BUILDING EXPANSION	7,600 SF	
ON-SITE PARKING & DRIVEWAYS	111,823 SF	
ON-SITE SIDEWALKS	44,094 SF	
FUTURE MOBILE CLASSROOMS & SIDEWALKS	5,695 SF	
PROPOSED PAVED PLAY AREA, SHELTERS	7,115 SF	
FUTURE IMPERVIOUS	5,481 SF	
TOTAL PROPOSED IMP. AREA	239,580 SF (5.50 AC)	
PROPOSED PERCENT IMPERVIOUS	239,580 / 673,021 = 35.7%	
EXISTING PERCENT IMPERVIOUS	145,580 / 673,021 = 21.6%	

BUILDING INFORMATION

CONSTRUCTION TYPE	11B
NUMBER OF PROPOSED BUILDINGS	1
PROPOSED BUILDING SF	
1st FLOOR	58,304 SF
2nd FLOOR	22,897 SF
TOTAL	81,201 SF
HEIGHT AT TOP OF 2nd FLOOR	32'-0"
LOT COVERAGE	8.58% (PROPOSED)

SITE PARKING

MINIMUM PARKING REQUIRED:	87
(1 PER TEACHER AND STAFF PERSON, 34 CLASSROOMS, 9 ADMIN OFFICES + 10)	
MAXIMUM PARKING ALLOWABLE:	131 SPACES
TOTAL PARKING PROVIDED:	120 SPACES
HANDICAP PARKING REQUIRED:	5 SPACES
HANDICAP PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	15 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

LANDSCAPE CALCULATIONS

REQUIRED FOUNDATION PLANTINGS (BLDG LENGTH X BLDG HGT) X 12%	
FRONT (SOUTH): (253 X 32) X 0.12 = 1,356 SF	
PROVIDED:	1,574 SF
REAR (NORTH): (110 X 32) X 0.12 = 422 SF	
PROVIDED:	467 SF
LEFT SIDE (WEST): (112 X 32) X 0.12 = 430 SF	
PROVIDED:	447 SF
REQUIRED STREET YARD BUFFER ((LENGTH OF FRONTAGE - DRIVEWAY) X 12)	
REQUIRED: (1,314 - 80) X 12 = 14,808 SF	
PROVIDED:	16,038 SF

UTILITY INFORMATION

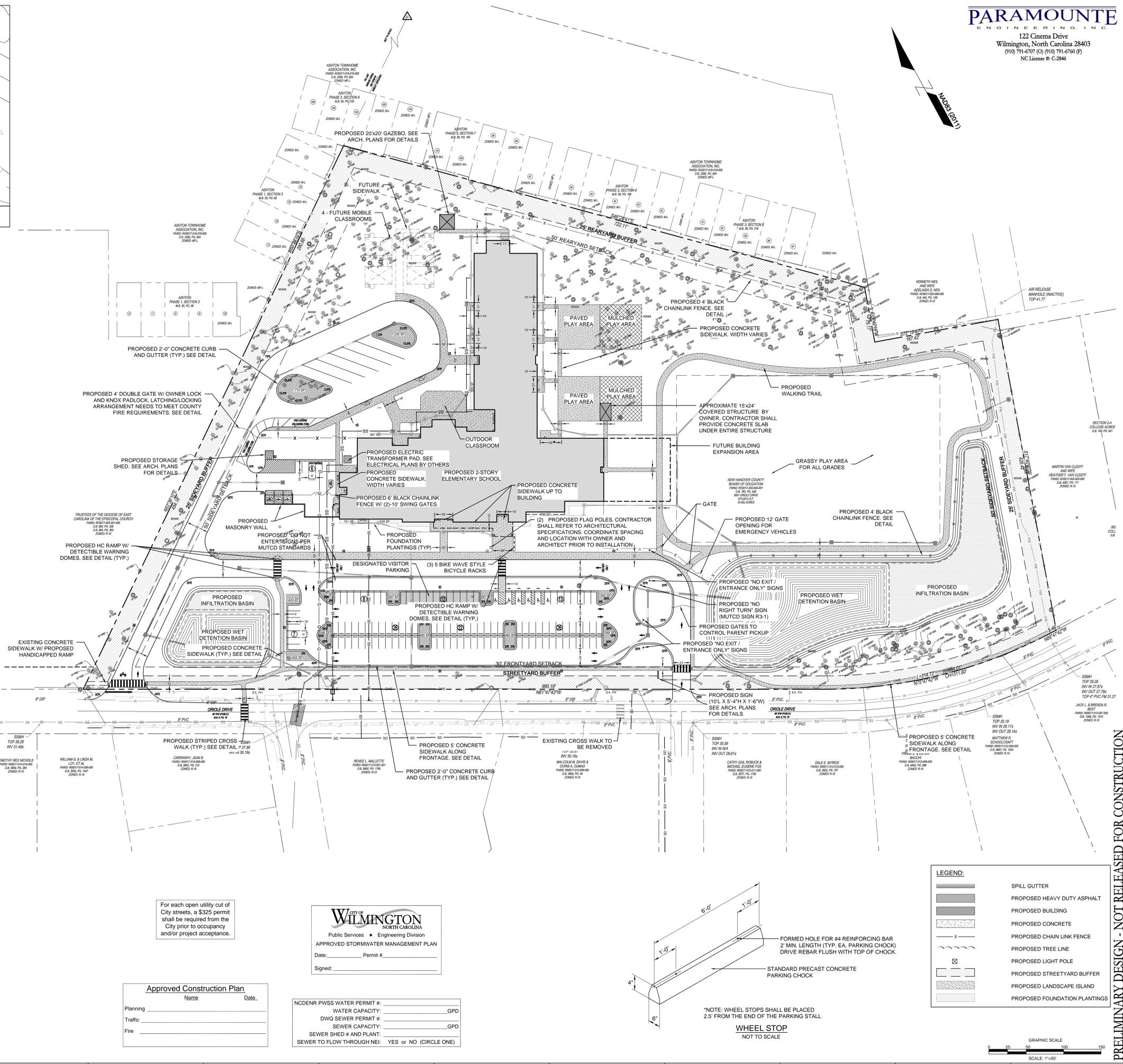
SANITARY SEWER
 THIS PROJECT IS PROVIDING A NEW SEWER SERVICE TO AN EXISTING 8-INCH GRAVITY MAIN LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. THIS PROJECT IS PROPOSING A 6-INCH SERVICE AND SANITARY SEWER ALLOCATION IS PROVIDED BY CFPWA.

WATER
 A 8-INCH WATER MAIN IS LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 8-INCH FIRE SERVICE AND A 4-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. DOMESTIC WATER ALLOCATION PROVIDED BY CFPWA.

NATURAL GAS
 THERE IS AN EXISTING GAS MAIN LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. GAS IS PROVIDED BY PIEDMONT NATURAL GAS.

FLOOD NOTE
 THIS TRACT IS LOCATED IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 37203114700J, MAP REVISED 04/03/06.

GATE LOCK NOTE:
 CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE THE PROPOSED GATE CAN RECEIVE THE OWNER PROVIDED PAD LOCK AT ALL LOCATIONS INDICATED ON THE PLAN.



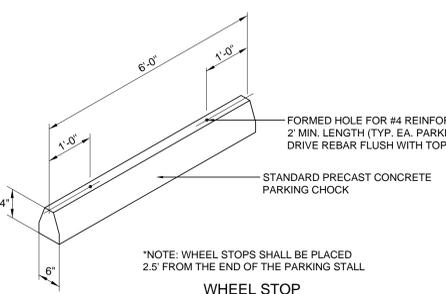
Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

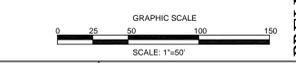
Date: _____ Permit #: _____
 Signed: _____

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



LEGEND:

[Symbol]	SPILL GUTTER
[Symbol]	PROPOSED HEAVY DUTY ASPHALT
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED CHAIN LINK FENCE
[Symbol]	PROPOSED TREE LINE
[Symbol]	PROPOSED LIGHT POLE
[Symbol]	PROPOSED STREET YARD BUFFER
[Symbol]	PROPOSED LANDSCAPE ISLAND
[Symbol]	PROPOSED FOUNDATION PLANTINGS



PARAMOUNTE
 ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (F) (910) 791-6760 (R)
 NC License #: C-2846

NHCS
 Reach, Equip, Achieve

COLLEGE PARK ELEMENTARY SCHOOL

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 LS3P ASSOCIATES LTD.
 2528 INDEPENDENCE BLVD., SUITE 200
 WILMINGTON, NORTH CAROLINA 28412
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REVISIONS:

No.	Description	Date

PROJECT: 15185.PE
 DATE: OCTOBER 19, 2016
 DRAWN BY: RPB
 CHECKED BY: RPB

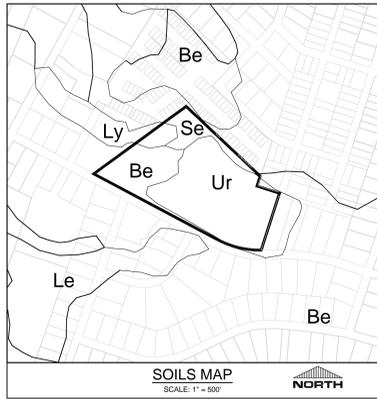
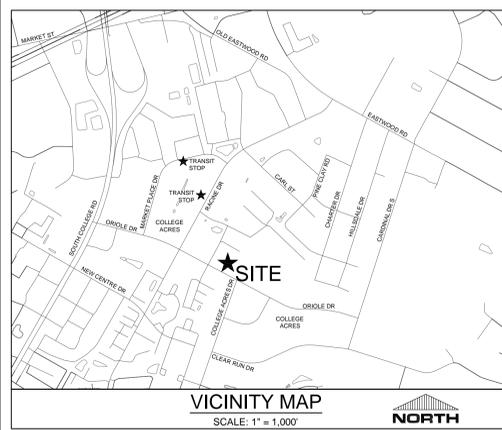
SITE LAYOUT

C-2.1

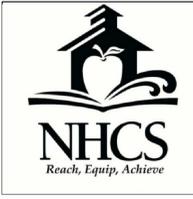
SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN

DESIGN DEVELOPMENT

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



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ENGINEERING, INC.
122 Cinema Drive
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REVISIONS:

No.	Description	Date

PROJECT: 15185.PE
DATE: OCTOBER 19, 2016
DRAWN BY: RPB
CHECKED BY: RPB

**SITE INVENTORY
MAP**
C-2.3
SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT



SITE INVENTORY DATA

- PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING, 5911 CLEANDER DRIVE, SUITE 201, WILMINGTON, NC 28403
- APPLICANT NAME: NHC BOARD OF EDUCATION
- SITE ADDRESS: 5001 ORIOLE DRIVE, WILMINGTON, NC 28403
- PROPERTY OWNER: CITY OF WILMINGTON
- DEVELOPER: NHC BOARD OF EDUCATION
- PROPERTY BOUNDARY: SEE PLAN
- ZONING: R-15
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
- SOILS: BAYMEADE (BE), LYNN HAVEN (LY), SEAGATE (SE), URBAN (UR) (SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: N/A
- CAMA LAND CLASSIFICATION: URBAN
- CONSERVATION RESOURCES: N/A
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED): SEE PLAN & VICINITY MAP

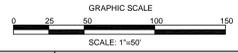
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

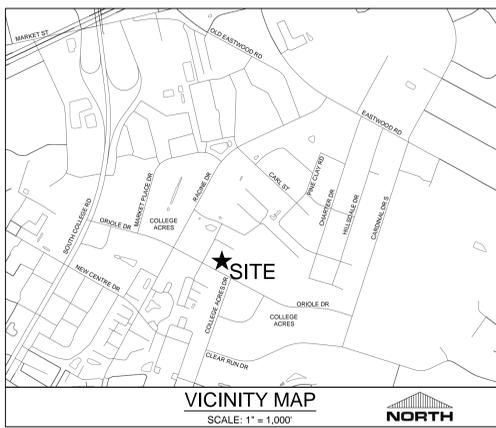
Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



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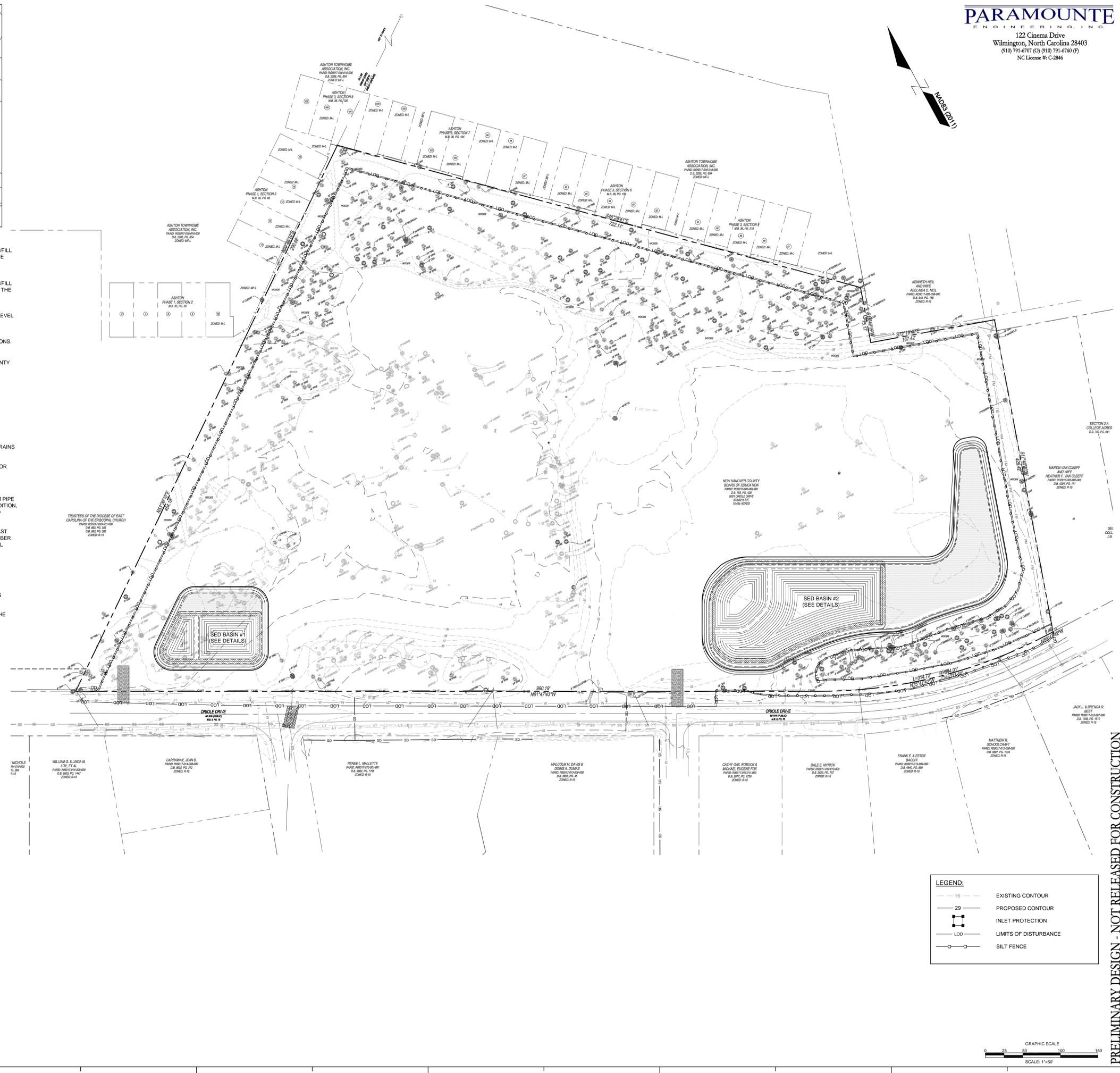
No.	Description	Date

PROJECT: 15185.PE
DATE: OCTOBER 19, 2016
DRAWN BY: RPB
CHECKED BY: RPB

**PHASE I
EROSION
CONTROL
PLAN**

C-3.0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT

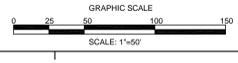


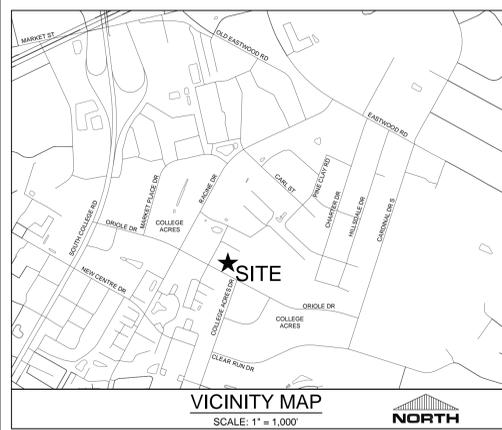
- ASPHALT AREA NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- BUILDING PAD NOTE:**
1. SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.
- STORMWATER NOTE:**
1. THIS PROJECT DRAINS TO A PROPOSED ON-SITE STORM WATER DETENTION SYSTEM WITH A LEVEL SPREADER AND VEGETATED FILTER STRIP AND A SECONDARY INFILTRATION SYSTEM.
 2. ONCE SITE IS STABILIZED AND SEDIMENT BASIN IS CONVERTED TO WET DETENTION BASIN, CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM BASIN AND RESTORE TO DESIGN ELEVATIONS.
- GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STATE OF NC AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL PLACE INLET PROTECTION AROUND ALL STORM DRAIN INLETS TO PROTECT THE SYSTEM FROM COLLECTING SEDIMENTATION DURING CONSTRUCTION. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL THE PARKING LOT IS PAVED.
 3. CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AND NEW ASPHALT AREAS TO MATCH PROPOSED GRADES.
 4. ALL PROPOSED SPOT ELEVATIONS SHOWN IN THE PARKING LOT ARE PROPOSED EDGE OF PAVEMENT OR FACE OF CURB @ GUTTER FOR CURB SECTIONS, UNLESS NOTED OTHERWISE.
 5. ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS ON-SITE COLLECTION SYSTEM. NO ROOF DRAINS SHALL BE DIRECTED OFF-SITE WITHOUT ENTERING THE ON-SITE COLLECTION FIRST.
 6. ALL SIDEWALK CROSS SLOPES HAVE BEEN GRADED TO MEET ADA REGULATIONS. CONTRACTOR SHALL CONFIRM GRADES BEFORE PLACING PAVEMENT OR SIDEWALKS AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER.
 7. THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 HP STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATION IF HDPE PIPE IS CHOSEN.
 8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING REPORT OF THE NORTHEAST ELEMENTARY SCHOOL PREPARED BY S&ME, PROJECT NUMBER 1306-14-044, AND DATED OCTOBER 29, 2014 FOR SITE CONSTRUCTION RECOMMENDATIONS WHICH IS INCLUDED IN THE TECHNICAL SPECIFICATIONS.
- NCDOT SEDIMENT BASIN NOTES:**
1. SITE CONTRACTOR SHALL INSTALL SEDIMENT BASIN #2 AS SHOWN ON THE PHASE I EROSION CONTROL PLAN.
 2. SITE CONTRACTOR SHALL EXTEND ROADWAY CULVERT INTO SEDIMENT BASIN.
 3. SITE CONTRACTOR SHALL PUMP WATER FROM SEDIMENT BASIN #2 TO PROPOSED DITCH ALONG WESTERN PROPERTY LINE UNTIL OUTLET STRUCTURE AND STORM SEWER ARE INSTALLED PER SHEET C-3.1.
 4. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING WATER FROM BACKING UP OUT OF THE DITCHES AND INTO EXISTING PROPERTY ACROSS EDGEWATER CLUB ROAD DURING CONSTRUCTION AND UNTIL #3 IS COMPLETED ABOVE.

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

LEGEND:

— 16 —	EXISTING CONTOUR
— 29 —	PROPOSED CONTOUR
— I —	INLET PROTECTION
— LOD —	LIMITS OF DISTURBANCE
— O —	SILT FENCE





**COLLEGE PARK
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SCHOOL**

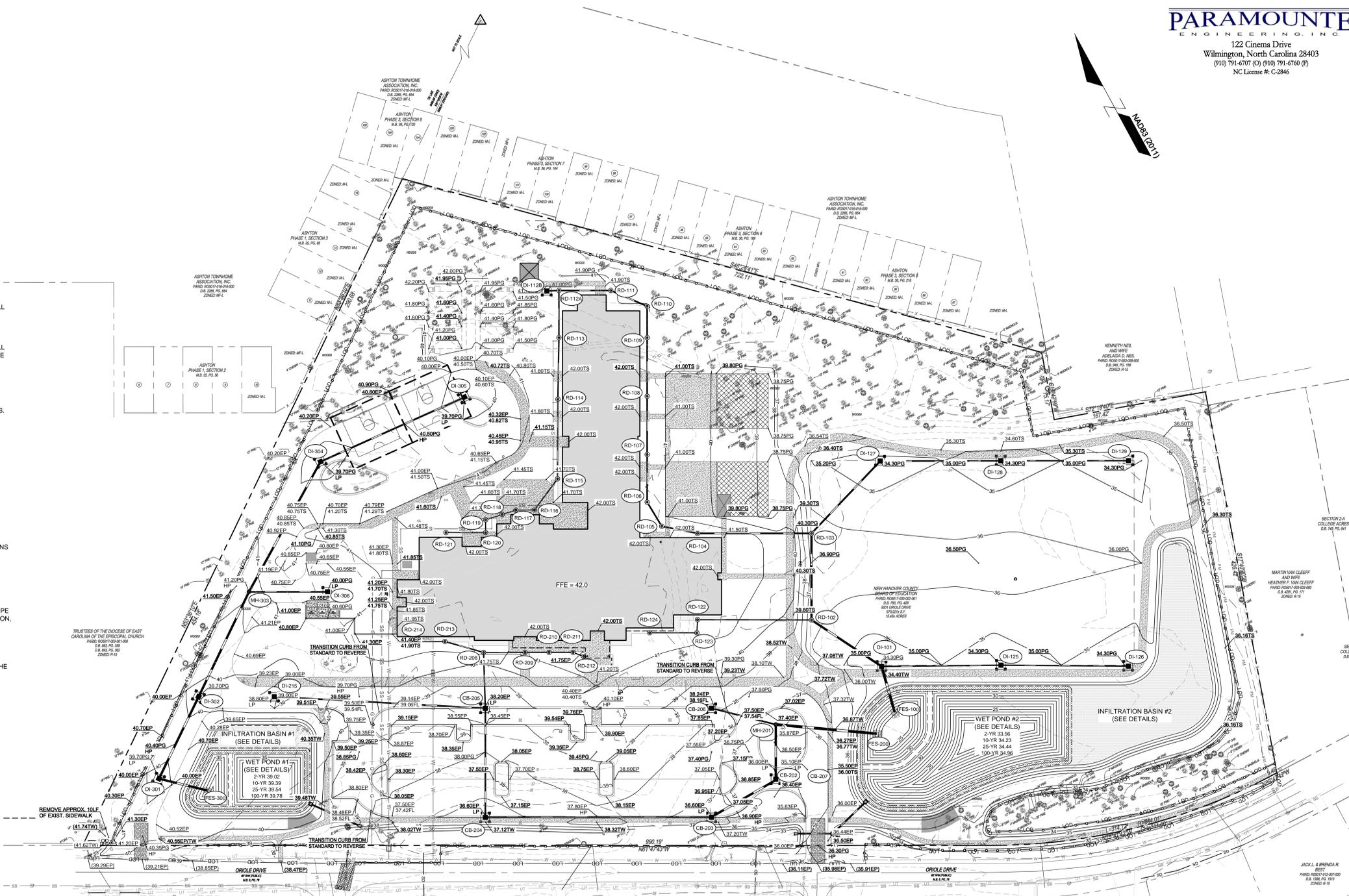


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- STORMWATER NOTE:**
1. THIS PROJECT DRAINS TO A PROPOSED ON-SITE STORM WET DETENTION BASIN.
2. ONCE SITE IS STABILIZED AND SEDIMENT BASIN IS CONVERTED TO WET DETENTION BASIN, CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM BASIN AND RESTORE TO DESIGN ELEVATIONS.
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8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING REPORT FOR COLLEGE PARK ELEMENTARY SCHOOL REPLACEMENT PREPARED BY S&ME, PROJECT NUMBER 1306-15-028, AND DATED AUGUST 25, 2015 FOR SITE CONSTRUCTION RECOMMENDATIONS WHICH IS INCLUDED IN THE TECHNICAL SPECIFICATIONS.



STORM SCHEDULE

Upstream Node	Downstream Node	Diameter (In)	Upstream Invert	Downstream Invert	Pipe Length (ft)	Slope (%)	Upstream Rim Elev.	Downstream Rim Elev.	Pipe Material
DI-101	FES-100	30	27.85	27.50	48	0.72	34.95	34.95	RCP III
RD-102	RD-101	24	28.99	28.95	92	0.70	34.29	34.95	RCP III
RD-103	RD-102	24	29.66	28.99	95	0.70	36.40	36.29	HDPE
RD-104	RD-103	18	32.57	31.64	124	0.75	41.80	36.40	HDPE
RD-105	RD-104	15	33.11	33.82	40	0.74	41.97	41.80	HDPE
RD-106	RD-105	15	33.35	33.11	31	0.75	41.71	41.47	HDPE
RD-107	RD-106	15	33.74	33.35	52	0.75	41.71	41.71	HDPE
RD-108	RD-107	15	34.22	33.74	64	0.75	41.78	41.71	HDPE
RD-109	RD-108	15	34.70	34.22	64	0.74	41.84	41.78	HDPE
RD-110	RD-109	15	34.96	34.70	35	0.75	41.84	41.84	HDPE
RD-111	RD-110	15	35.28	34.96	43	0.75	41.88	41.84	HDPE
RD-112A	RD-111	15	35.71	35.28	56	0.75	41.42	41.88	HDPE
RD-112B	RD-112A	12	36.06	35.96	13	0.75	41.30	41.42	HDPE
RD-113	RD-112A	12	36.35	35.96	52	0.75	41.90	41.42	HDPE
RD-114	RD-113	12	36.85	36.35	68	0.75	41.97	41.90	HDPE
RD-115	RD-114	12	37.51	36.85	87	0.75	41.90	41.87	HDPE
RD-116	RD-115	12	37.83	37.51	43	0.75	41.93	41.90	HDPE
RD-117	RD-116	8	38.31	38.16	20	0.74	41.93	41.93	HDPE
RD-118	RD-117	8	38.43	38.31	16	0.75	41.97	41.93	HDPE
RD-119	RD-118	8	38.57	38.43	19	0.75	41.90	41.92	HDPE
RD-120	RD-119	8	38.68	38.57	14	0.75	41.99	41.90	HDPE
RD-121	RD-120	8	39.00	38.68	43	0.75	41.94	41.99	HDPE
RD-122	RD-121	8	37.68	35.20	124	1.99	42.00	36.29	HDPE
RD-123	RD-122	8	37.97	37.68	15	2.01	41.50	42.00	HDPE
RD-124	RD-123	8	39.00	37.97	51	2.00	42.00	41.50	HDPE
DI-125	DI-101	12	30.41	29.76	139	0.50	34.90	34.95	HDPE
DI-126	DI-125	12	31.10	30.41	139	0.50	34.37	34.30	HDPE
DI-127	DI-103	18	30.49	30.16	109	0.30	34.30	36.40	HDPE
DI-128	DI-127	15	31.13	30.74	133	0.30	34.30	34.30	HDPE
DI-129	DI-128	12	31.80	31.38	139	0.30	34.41	34.30	HDPE
MH-201	FES-200	30	29.83	28.00	106	1.72	37.28	-	RCP III
CB-202	MH-201	24	30.58	30.33	50	0.51	35.92	37.28	RCP III
CB-203	CB-202	24	31.02	30.58	87	0.50	36.52	35.92	RCP III
CB-204	CB-203	18	32.75	31.52	246	0.50	36.52	36.52	RCP III
CB-205	CB-204	15	33.60	33.00	120	0.50	38.12	36.52	RCP III
CB-206	MH-201	15	33.00	32.64	72	0.50	38.20	37.28	RCP III
CB-207	CB-205	15	31.50	31.33	34	0.50	35.10	35.92	RCP III
RD-208	CB-205	12	34.81	34.50	61	0.50	41.12	38.12	HDPE
RD-209	RD-208	8	35.36	35.14	45	0.62	41.21	41.12	HDPE
RD-210	RD-209	8	35.49	35.36	26	0.50	41.62	41.21	HDPE
RD-211	RD-210	8	35.63	35.49	26	0.50	41.74	41.62	HDPE
RD-212	RD-211	8	35.69	35.63	12	0.50	41.65	41.74	HDPE
RD-213	RD-208	12	35.03	34.81	44	0.61	41.81	41.12	HDPE
RD-214	RD-213	8	35.53	35.36	34	0.50	41.71	41.81	HDPE
RD-215	CB-205	15	34.75	33.60	230	0.50	38.80	38.12	RCP III
DI-301	FES-300	24	33.75	33.50	50	0.50	39.71	-	RCP III
DI-302	DI-301	24	34.05	33.75	100	0.30	39.70	39.71	RCP III
MH-303	DI-302	24	34.44	34.05	128	0.30	41.20	39.70	RCP III
DI-304	MH-303	24	34.92	34.44	163	0.30	39.70	41.20	RCP III
DI-305	DI-304	18	35.94	35.42	172	0.30	39.71	39.70	RCP III
DI-306	MH-303	15	36.00	35.75	86	0.30	40.00	41.20	RCP III

NOTATION:
CI = CURB INLET
DI = DROP INLET
CO = CLEANOUT
DDI = DOUBLE DROP INLET
MH = STORM DRAIN MANHOLE
RD = ROAD DRAIN CLEANOUT
FFE = FINISHED FLOOR ELEVATION
BPE = BUILDING PAD ELEVATION

LEGEND:
-16- EXISTING CONTOUR
-29- PROPOSED CONTOUR
EG-25.05 EXISTING SPOT ELEVATION
PG-25.05 PROPOSED EDGE OF PAVEMENT
EP-25.05 PROPOSED EDGE OF PAVEMENT
SW-25.05 PROPOSED SIDEWALK ELEVATION
TC-25.05 PROPOSED TOP OF CURB ELEVATION
INLET PROTECTION
LIMITS OF DISTURBANCE
SILT FENCE
DRAINAGE FLOW PATH
DRAINAGE INLET LABEL
SPILL GUTTER

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

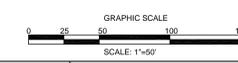
No.	Description	Date

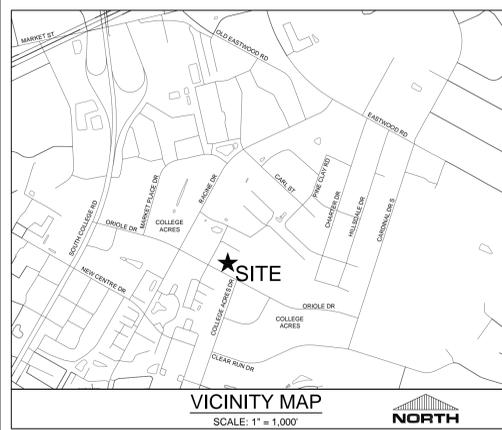
PROJECT: 15185.PE
DATE: OCTOBER 19, 2016
DRAWN BY: RPB
CHECKED BY: RPB

**GRADING,
DRAINAGE &
PHASE II EROSION
CONTROL PLAN**

C-3.1

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT





SITE DATA TABULATION

OWNER: NHC BOARD OF EDUCATION
 PROJECT ADDRESS: 5001 ORIOLE DRIVE, WILMINGTON, NC 28403
 TAX PARCEL IDENTIFICATION #: R05017-003-002-001 (15.42 AC)
 RECORDED DEED BOOK: BK, PG.
 CURRENT ZONING: R-15
 CAMA LAND USE CLASSIFICATION: URBAN
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'
 EXISTING LAND USE: ELEMENTARY SCHOOL
 PROPOSED LAND USE: ELEMENTARY SCHOOL

UTILITY INFORMATION

SANITARY SEWER
 THIS PROJECT IS PROVIDING A NEW SEWER SERVICE TO AN EXISTING 8-INCH GRAVITY MAIN LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. THIS PROJECT IS PROPOSING A 6-INCH SERVICE AND SANITARY SEWER ALLOCATION IS PROVIDED BY CFPWA.

WATER
 A 8-INCH WATER MAIN IS LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. THE PROPOSED BUILDING WILL HAVE A 4-INCH FIRE SERVICE AND A 4-INCH DOMESTIC SERVICE WILL BE CONNECTED TO THE EXISTING 8-INCH WATER MAIN. DOMESTIC WATER ALLOCATION PROVIDED BY CFPWA.

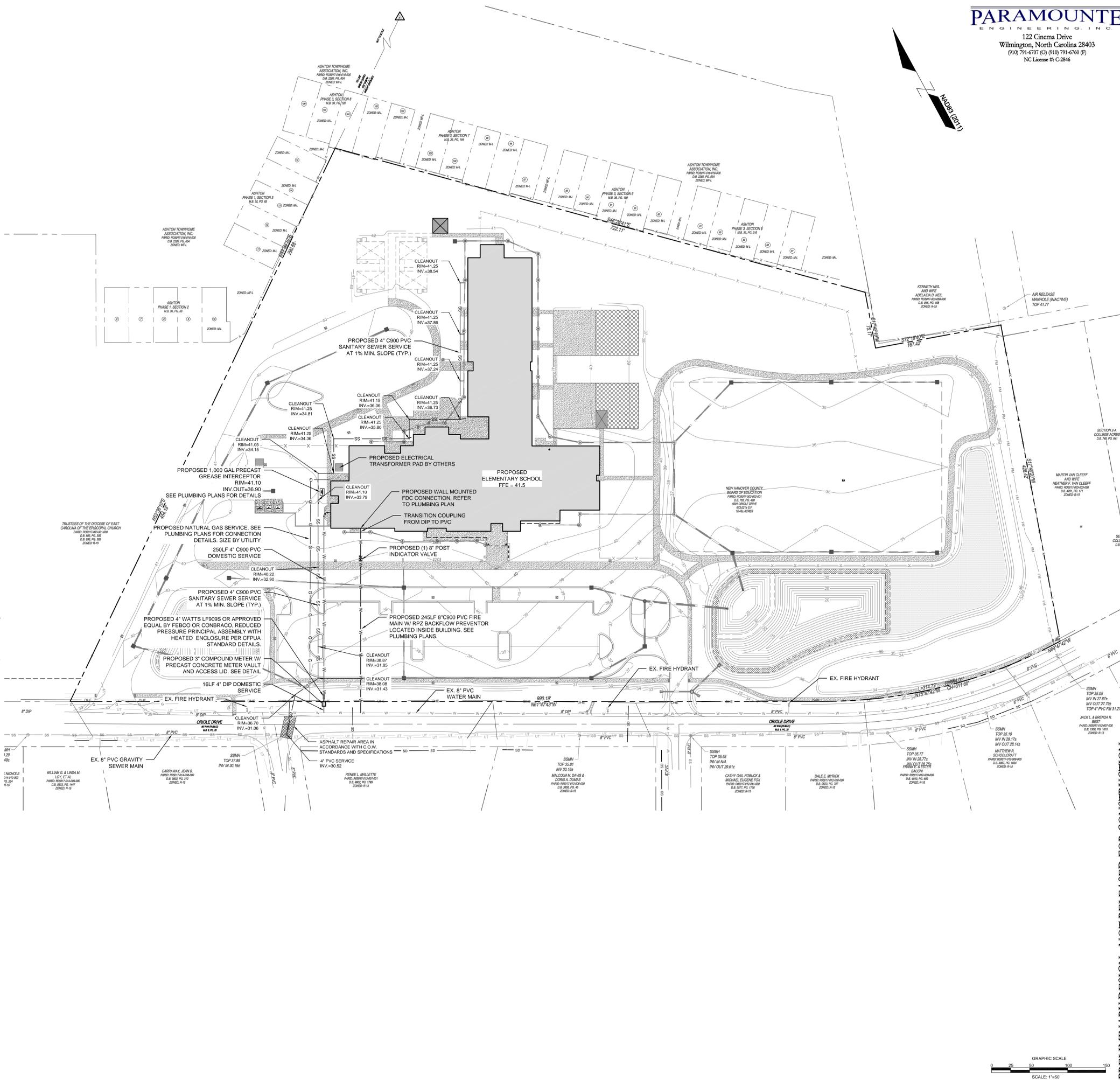
NATURAL GAS
 THERE IS AN EXISTING GAS MAIN LOCATED WITHIN THE ORIOLE DRIVE RIGHT OF WAY. GAS IS PROVIDED BY PIEDMONT NATURAL GAS.

FLOOD NOTE
 THIS TRACT IS LOCATED IN FLOOD ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 37203114700L, MAP REVISED 04/03/06.

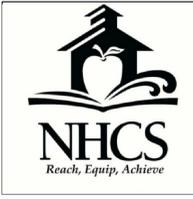
SURVEY DATUM
 HORIZONTAL CONTROL: NAD 83-2011
 VERTICAL CONTROL: NAVD 88

- UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)**
- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 - WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 - CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

- FIRE & LIFE SAFETY NOTES:**
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
 - HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
 - CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
 - A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
 - UNDERGROUND FIRE LINE & PRIVATE WATER MAINS MUST BE PERMITTED & INSPECTED BY NEW HANOVER COUNTY FIRE SERVICES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING.
 - CONSTRUCTION TYPE - IIB ELEMENTARY SCHOOL (SPRINKLED), BUILDING WILL BE SPRINKLED.
 - ANY FDC MUST BE WITHIN 150' OF A FIRE HYDRANT & WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 - LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.



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COLLEGE PARK ELEMENTARY SCHOOL

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 2528 INDEPENDENCE BLVD., SUITE 200
 WILMINGTON, NORTH CAROLINA 28412
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REVISIONS:

No.	Description	Date

PROJECT: 15185.PE
 DATE: OCTOBER 19, 2016
 DRAWN BY: RPB
 CHECKED BY: RPB

UTILITY PLAN

C-4.0

SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

